



Town of Belmont  
Zoning Board of Appeals

**APPLICATION FOR A SPECIAL PERMIT**

Date: 7/15/32

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 17 Concord Ave Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for an alteration to rear of structure

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner William Weinstein  
Print Name William Weinstein  
Address 17 Concord Ave, Belmont

Daytime Telephone Number 617-935-3516

December 6, 2005

1



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

July 6, 2022

William and Shelley Weinstein  
17 Concord Ave.  
Belmont, MA 02478

RE: Denial to Construct Two Story Rear Addition and Stairs.

Dear Mr. and Mrs. Weinstein,

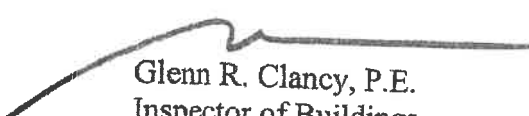
The Office of Community Development is in receipt of your building permit application for your proposal to construct a two-story rear addition and stairs at 17 Concord Ave. located in a General Residence Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically,

1. Section 1.5.4A of the By-Law allows alterations and expansions in the General Residence zoning district by a Special permit granted by the Board of Appeals.
2. The By-Law allows maximum lot coverage of 30%, the existing and proposed lot coverage is 33.6%.
3. The By-Law requires a minimum side setback of 10.0'. The existing and proposed side setback is 3.9'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request Three (3) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Gabriel Distler, Staff Planner at (617) 993-2650 in order to begin the process.

Sincerely,

  
Glenn R. Clancy, P.E.  
Inspector of Buildings

**Belmont Special Permit Application Statement**  
17 Concord Ave

Bill and Shelley Weinstein, of 17 Concord Ave, seek three special permits – altering a non-conforming structure in the GR district, maintaining an existing non-conforming lot coverage, and maintaining an existing non-conforming side setback.

The proposed alteration involves rebuilding the dilapidated two story rear sun room structure and increasing the size by a total of 107 sf.

The design would allow the homeowners to add 52 sf to the first floor sun room, converting it into a mudroom, and add 55 sf to the second floor sun room, converting it into a kitchen expansion and office space.

The design maintains the existing 33.6% lot coverage by reconfiguring and reducing the size of the rear egress stair and locating the majority of the proposed addition in the area currently covered by the roofed cellar access (an area that also happens to be conforming).

The design aligns with the main volume of the house, therefore maintaining the 3.9' from the left side property line and the 21.1' from the right property line. The actual volume would only extend another 8" into the back yard, and the reconfigured stair is smaller, actually improving the rear setback from 41.6' currently to 42.4' proposed, both well below the 20' required.

In conclusion, the proposed alteration **does not pose any substantial detriment** to the neighborhood and **does not nullify or substantially derogate** the intent of the by-law. Rather, it is very reasonably sized and in line with similar nearby residences.

## Zoning Compliance Check List

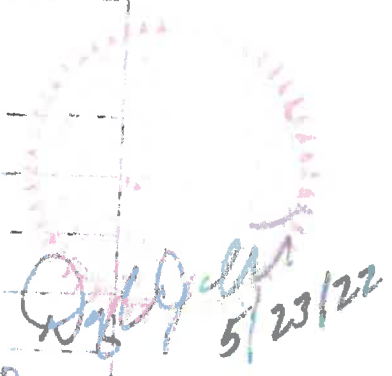
Properties Located within the GR Zoning Districts  
(To be Completed by a Registered Land Surveyor)

Property Address: 14 Curved Ave

Surveyor Signature and Stamp: \_\_\_\_\_

Date: \_\_\_\_\_

Per §4.2 of the Zoning By-Law				
		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)		5,400 SF	2,827 SF	2,827 SF
Lot Frontage (feet)		50'	50'	50'
Lot Area/Unit (sq. ft./d.u.)		3,500 SF	2,827 SF	2,827 SF
Lot Coverage (% of lot)		30%	21%	21%
Open Space (% of lot)		70%	79%	79%
Setbacks: (feet)	➤ Front <sup>(a)</sup>	9'	9'	9'
	➤ 2nd Front Door (25%)			
	➤ Side/Side	10'	10'	10'
	➤ Rear	7'	7'	7'
Building Height:	➤ Feet	23'	23'	23'
	➤ Stories	1 1/2	1 1/2	1 1/2
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)			
	➤ Area (60%)			
	➤ Length (75%)			
Per §6D of the Zoning By-Law				
HVAC:	Prohibited in Front Yard and Side and Rear Setbacks			
Front Doors:	Both Must Face Street <sup>(b)</sup>			
	STANDARD	PROPOSED		
Curb Cut (One per 70' Frontage) <sup>(c)</sup>				

  
 [Signature]  
 5/23/22

(a) Front setback is equal to the average front setbacks of the abutting properties on either side.  
 (b) The second unit's front door may be allowed to face the side yard only if the existing structure is historically or architecturally significant.  
 (c) A second curb cut may be allowed where the Applicant can demonstrate that creating a second curb cut is harmonious with the surrounding neighborhood.

**SUBMIT CALCULATIONS** for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

DLJ Geomatics  
 276 North Street  
 Weymouth, MA 02191  
[landsurv23@gmail.com](mailto:landsurv23@gmail.com)  
 781-812-0457

17 Concord Avenue  
 Belmont, MA 02478

There are six segments of foundation walls. They are 8.58' tall.

SEGMENT	LENGTH	TOTAL FACE	BELOW GRADE
A	25.4'	217.93 S.F.	182.12 S.F.
B	11.2'	96.10 S.F.	72.24 S.F.
C	12.4'	106.39 S.F.	73.90 S.F.
D	17.0'	145.86 S.F.	83.47 S.F.
E	25.4'	217.93 S.F.	98.30 S.F.
F	40.6'	348.35 S.F.	228.98 S.F.
TOTALS		1,132.56 S.F.	739.01 S.F.

$739.01/1,132.56 = .6525$

The foundation walls are 65.25% below grade.

  
 Douglas Johnston, PLS

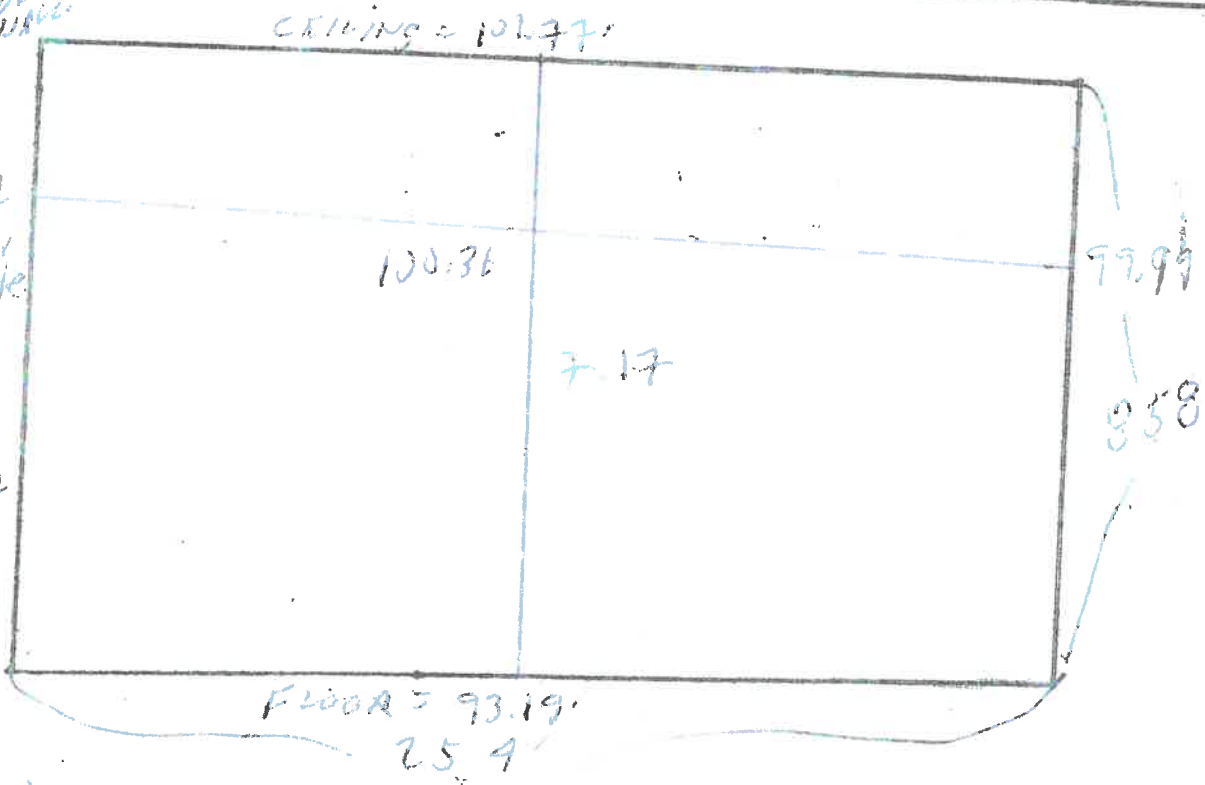


$$\begin{array}{r} 95.4 \\ + 8.53 \\ \hline 103.93 \end{array}$$
 TOTAL  
 FLOOR  
 OR  
 WALL

SEG 'A'

$$\begin{array}{r} 25.4 \\ + 7.17 \\ \hline 32.57 \end{array}$$
 100.72  
 BELOW  
 GRADE

$$\frac{82.7}{12.93} = 8357$$



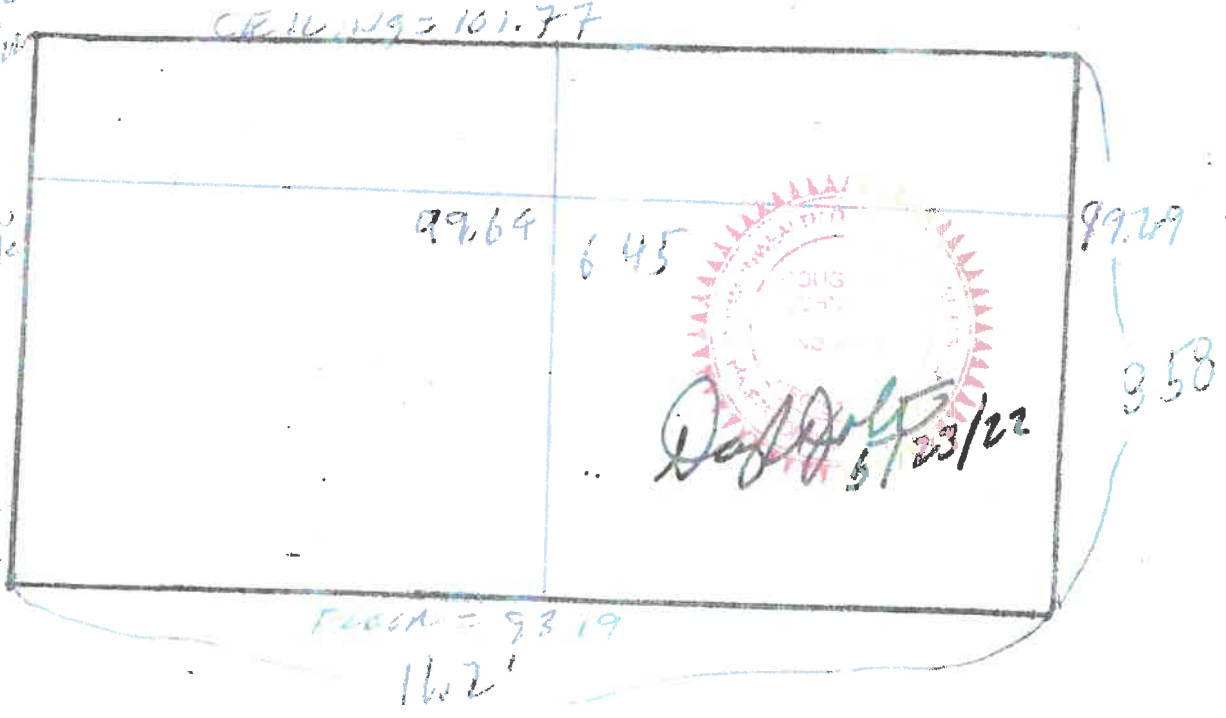
23.57%  
 BELOW GRADE

$$\begin{array}{r} 1.2 \\ + 8.59 \\ \hline 96.10 \end{array}$$
 TOTAL  
 FLOOR  
 OR  
 WALL

SEG 'B'

$$\begin{array}{r} 6 \\ + 46 \\ \hline 52 \end{array}$$
 99.99  
 BELOW  
 GRADE

$$\frac{24}{10} = 2517$$



5.17%  
 BELOW GRADE

6

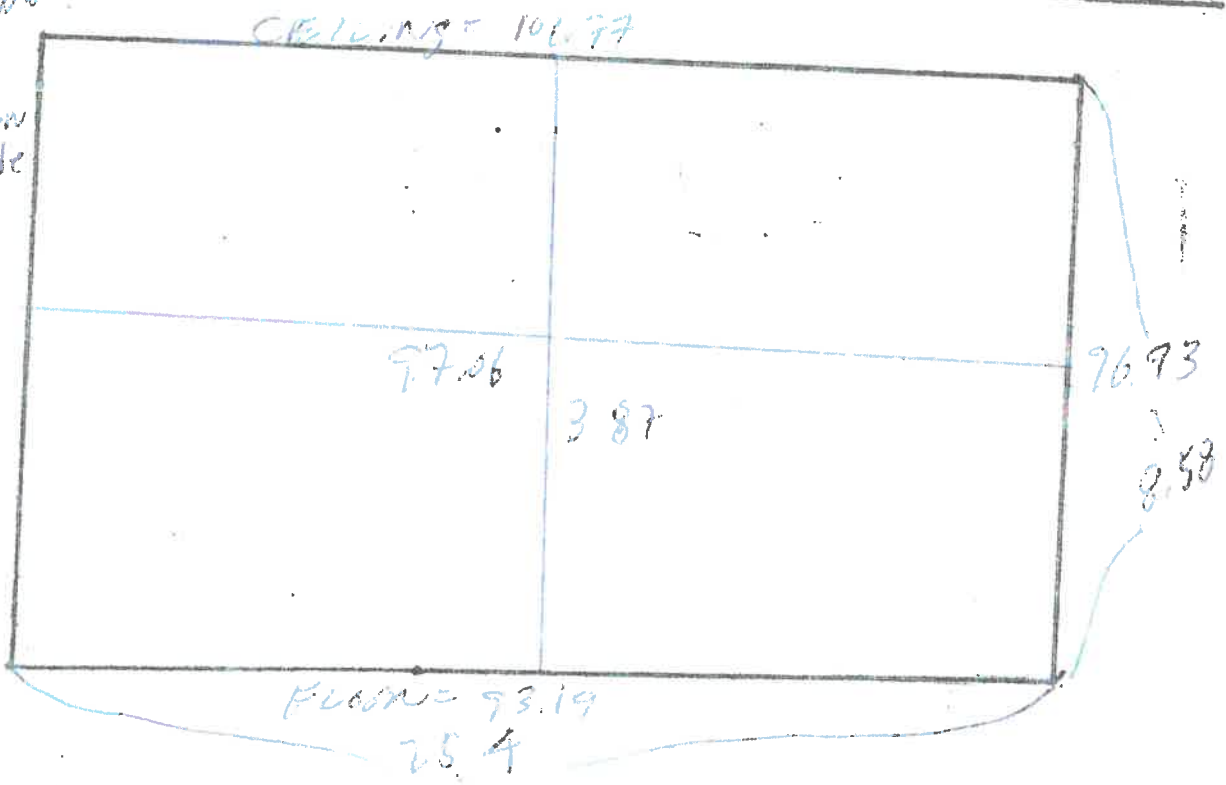
75.4  
x 8.30  
-----  
717.93

TOTAL FACE OF WORK

SEG 10'

75.4  
x 3.87  
-----  
98.30

BELOW GRADE



97.13  
9830  
-----  
1793 = .1811

75.11 %  
BELOW GRADE

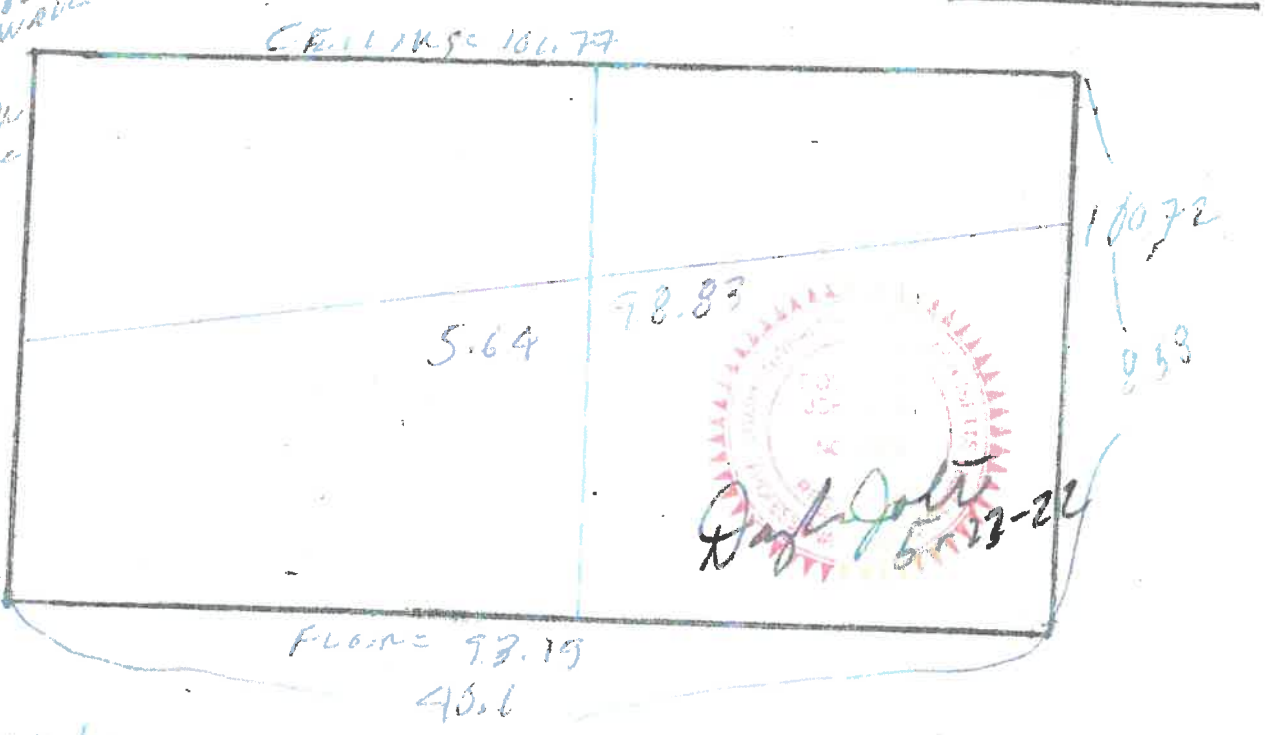
10.6  
x 8.30  
-----  
88.35

TOTAL FACE OF WORK

SEG 10'

10.6  
x 2.14  
-----  
22.73

BELOW GRADE



96.93  
988  
-----  
75 = .6573

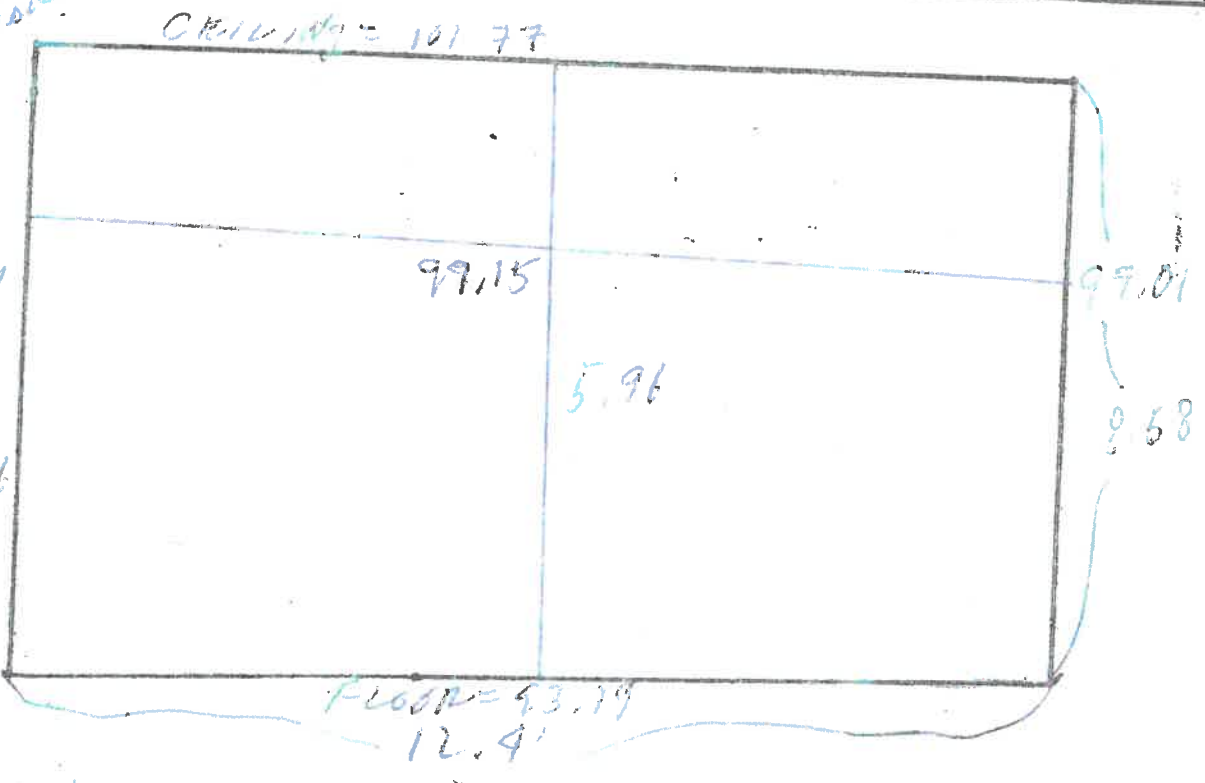
5.73 %  
BELOW GRADE



12.4  
 x 3.53  
 -----  
 176.39

TOTAL  
 FACE  
 OF  
 WALL

SEG "C"



99.29  
 12.4  
 15.96 BELOW  
 -----  
 73.90 GRADE

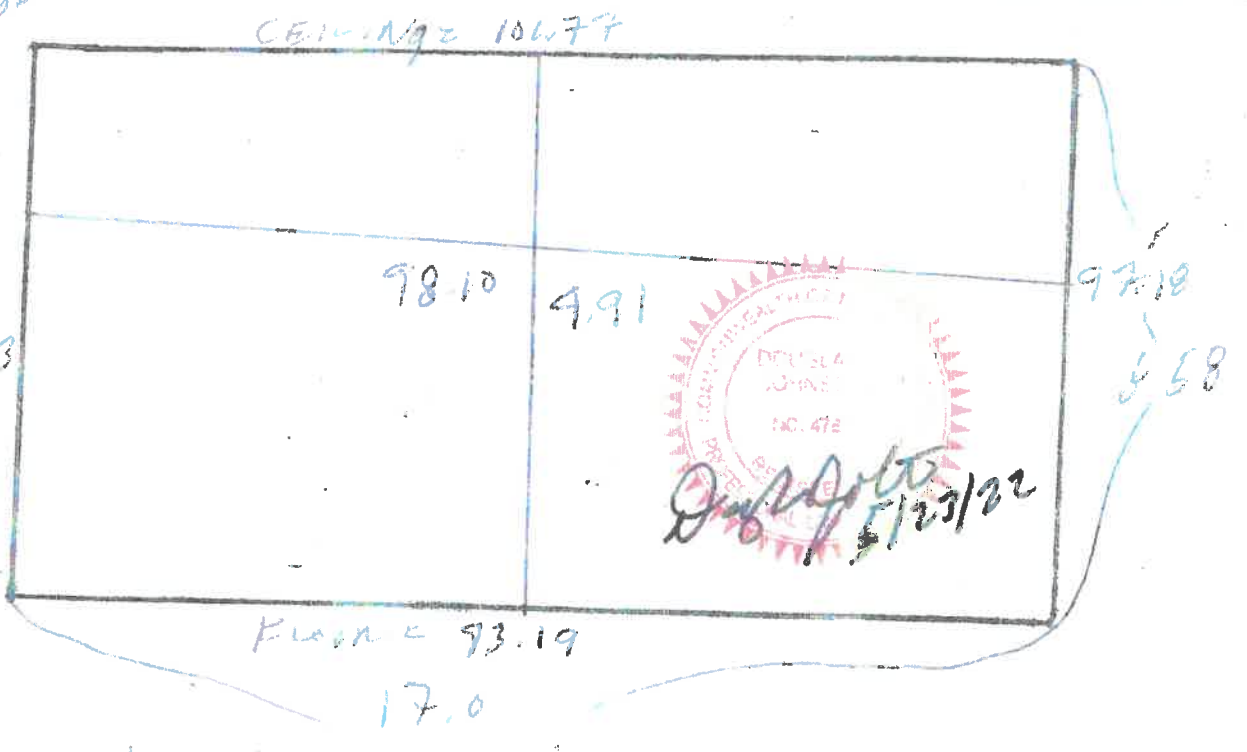
73.90  
 56.39 = .6946

69.46%  
 BELOW GRADE

70  
 9.58  
 -----  
 45.86

TOTAL  
 FACE  
 OF WALL

SEG "D"

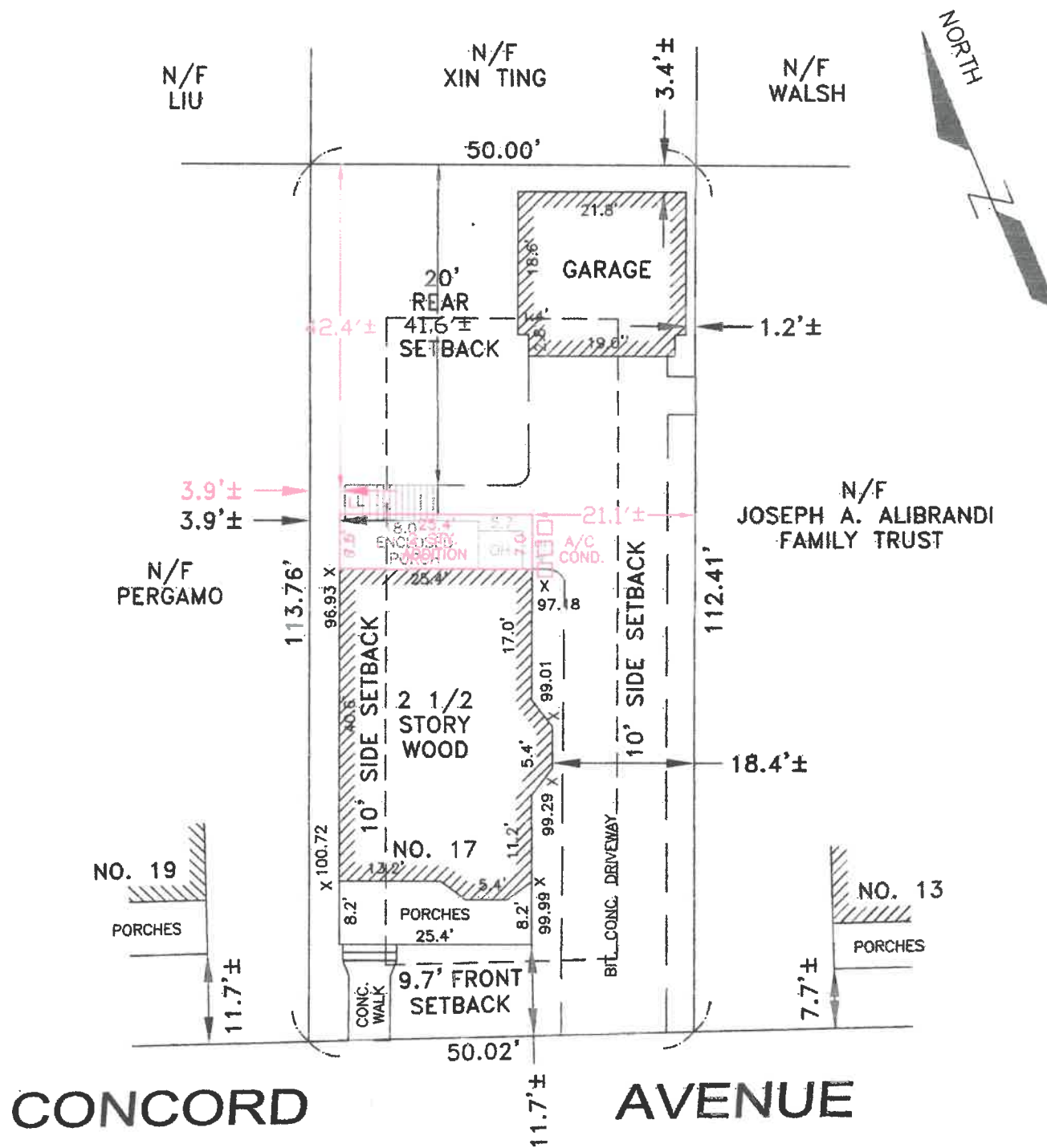


7.0 BELOW  
 6.21 GRADE  
 -----  
 47.97.01

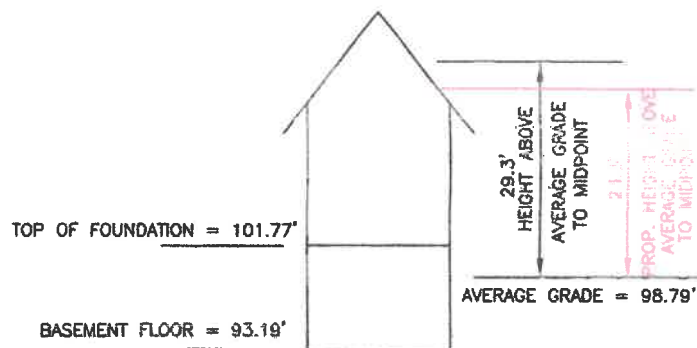
47  
 7.81 = .5723

7.23%  
 BELOW GRADE



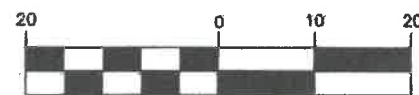


LOT AREA = 5,654 S.F.±  
 EXISTING BUILDING = 1,440 S.F.±  
 EXISTING GARAGE = 459 S.F.±  
 EXISTING PAVEMENT + WALK = 1,489 S.F.±  
 NET PROPOSED ADDITION = 0 S.F.±  
 EXISTING LOT COVERAGE = 33.6%  
 PROPOSED LOT COVERAGE = 33.6%  
 EXISTING OPEN SPACE = 40.1%  
 PROPOSED OPEN SPACE = 40.1%



NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 61823, PAGE 503.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN PLAN BOOK 201, PAGE 45.
3. SUBJECT PARCEL IS LOCATED IN ZONE GR.
4. SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0418E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
5. NO PUBLIC SHADE TREE IS LOCATED WITHIN THE LIMITS OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY.
6. FRONT SETBACK=11.7+7.7=19.4; 19.4/2=9.7;  
FRONT SETBACK=9.7'.



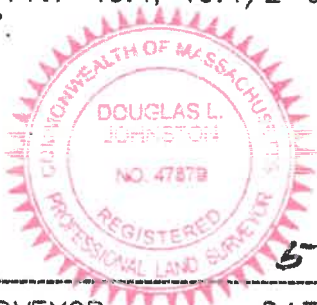
( IN FEET )  
1 inch = 20 ft.

CERTIFIED PLOT PLAN  
IN  
BELMONT, MA

SCALE: 1" = 20' MAY 19, 2022

DLJ GEOMATICS  
 PROFESSIONAL LAND SURVEYING  
 276 NORTH STREET  
 WEYMOUTH, MA 02191  
 (781) 812-0457

17 CONCORD AVE BELMONT.dwg



*Johnston*

PROFESSIONAL LAND SURVEYOR

DATE

5-27-22

**GENERAL NOTES:**

1. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.
2. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
4. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
5. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
6. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
7. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE OF GWB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
9. HVAC CONTRACTOR TO MODIFY MECHANICAL SYSTEM TO ACCOMMODATE NEW LAYOUT AND NEW ADDITION. CONTRACTOR TO PROVIDE COOLING SYSTEM OPTIONS.
10. CONTRACTOR TO COORDINATE THE LOCATION OF ELECTRICAL OUTLETS TO MEET CODE. CONTRACTOR TO SUBMIT SWITCHING LOCATIONS TO OWNER / ARCHITECT FOR APPROVAL.
11. PAINT AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.
12. ALL INTERIOR WOOD TRIM AND WOOD BASE TO BE SELECTED BY OWNER.
13. NOT USED
14. ALL FLOOR TILE, APPLIANCES, PLUMBING FIXTURES AND LIGHT FIXTURES TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
15. ALL INTERIOR WALLS TO BE 2X4 CONSTRUCTION, UNLESS NOTED OTHERWISE. ALL EXTERIOR WALLS TO BE 2X4 CONSTRUCTION.
16. BATT INSULATION TO BE PROVIDED FOR SOUND ATTENUATION IN ALL INTERIOR BEDROOM AND BATHROOM WALLS AND FLOORS.
17. CONTRACTOR TO SPRAY APPLY ICYNENE INSULATION FORMULA, APPLIED TO A THICKNESS ADEQUATE TO ACHIEVE SPECIFIED R VALUES. ALL FOUNDATION SILL PLATES AND FLOOR / WALL JUNCTION PLATES TO BE CAULKED TO AVOID AIR LEAKAGE. ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS TO BE SIZED TO FURNISH A MINIMUM 1/2" SPACE AROUND THE PERIMETER OF FRAME TO PERMIT INSTALLATION OF FOAM INSULATION. ALL JOINTS BETWEEN EXTERIOR FRAMING MEMBERS TO BE CAULKED TO AVOID AIR LEAKAGE. CEILING VAPOR BARRIER TO BE CAULKED AND STAPLED TO THE TOP PLATES OF INTERIOR PARTITIONS AND TO THE LOWER TOP PLATES OF EXTERIOR WALLS. ROOF ASSEMBLY TO BE NON-VENTED (NO SOFFIT OR RIDGE VENTS) PER MFGR SPECS FOR ICYNENE INSULATION SYSTEM. BUILDING TO BE MECHANICALLY VENTED. ALL VERTICAL WIRING FOR ELECTRIC, CABLE, TELEPHONE, SECURITY, ETC. SHALL BE SECURED TO THE INSIDE OF STUDS EVERY 3'-0" AND 1 1/2" FROM THE GWB SURFACE FOR ALL RUNS. CEILING OUTLETS SHALL BE INSTALLED USING VAPOR BARRIER PANS/ BOXES WHICH ARE CAULKED WITH ACOUSTICAL CAULKING MATERIAL PRIOR TO THE INSTALLATION OF THE ATTIC INSULATION.

# SCHEMATIC DESIGN

## JUNE 17, 2022

**ENERGY AUDIT:**

- REFERENCE CH 11 - ENERGY EFFICIENCY 2015 INTERNATIONAL RESIDENTIAL CODE W/ MASS AMENDMENTS.
- PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):
1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R49 ROOF R-VALUE, R30 FLOOR R-VALUE, R20 WALL R-VALUE, R15/19 BASEMENT / CRAWL SPACE WALL R-VALUE.
  2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING TO BE .30 U FACTOR AND SKYLIGHTS TO BE .55 U-FACTOR.
  3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

**PROJECT INFORMATION:**

BELMONT ZONING GR

REQUIRED:

MAX 30% LOT COVERAGE  
MIN 40% OPEN SPACE

FRONT YARD SETBACK: AVERAGE  
REAR YARD SETBACK: 20'-0"  
SIDE YARD SETBACK: 10'-0"

MAX HEIGHT: 2 1/2 STORIES AND  
33' TO MIDPOINT











PROPOSED ADDITION IS 107 SF NEW GROSS FLOOR AREA.

107 < 300 THEREFORE PB REVIEW NOT REQUIRED.








**DRAWING LIST**

- A1 COVER SHEET
- A2 EXISTING CELLAR PLAN
- A3 NEW CELLAR FLOOR PLAN
- A4 EXISTING FIRST FLOOR PLAN
- A5 NEW FIRST FLOOR PLAN
- A6 EXISTING SECOND FLOOR PLAN
- A7 NEW SECOND FLOOR PLAN
- A8 EXISTING ATTIC PLAN
- A9 EXISTING ELEVATIONS
- A10 NEW ELEVATIONS
- A11 EXISTING ELEVATIONS
- A12 NEW ELEVATIONS

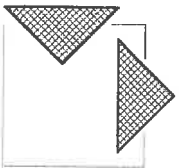
**LIGHTING LEGEND**

-  RECESSED LED CAN LIGHT - AS SELECTED BY OWNER
-  CEILING MOUNTED PENDANT - AS SELECTED BY OWNER
-  CEILING MOUNTED DOME LIGHT - AS SELECTED BY OWNER
-  WALL MOUNTED SCONCES AS SELECTED BY OWNER
-  CEILING FAN WITH INTEGRAL LIGHT - AS SELECTED BY OWNER
-  S.D. SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SMOKES TO BE HARD-WIRED PER CODE
-  S/CO HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
-  DATA CONNECTION
-  TELEPHONE / DATA CONNECTION
-  ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

**SYMBOL LEGEND**

-  WALL TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN
-  NEW WALL
-  INTERIOR ELEVATION
-  SECTION
-  DOOR TAG
-  WINDOW TAG

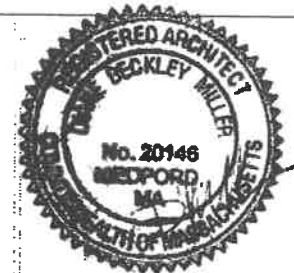
**MILLER  
DESIGN LLC**



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
5/6/22	SCHEMATIC DESIGN
6/17/22	ZBA APPROVAL



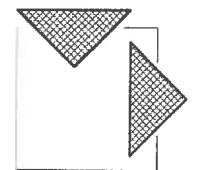
WEINSTEIN RESIDENCE  
17 CONCORD AVE  
BELMONT MA 02478

**COVER SHEET**

Sheet  
Number:

# A1

MILLER  
DESIGN LLC



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: 5/6/22  
Issued for: SCHEMATIC DESIGN

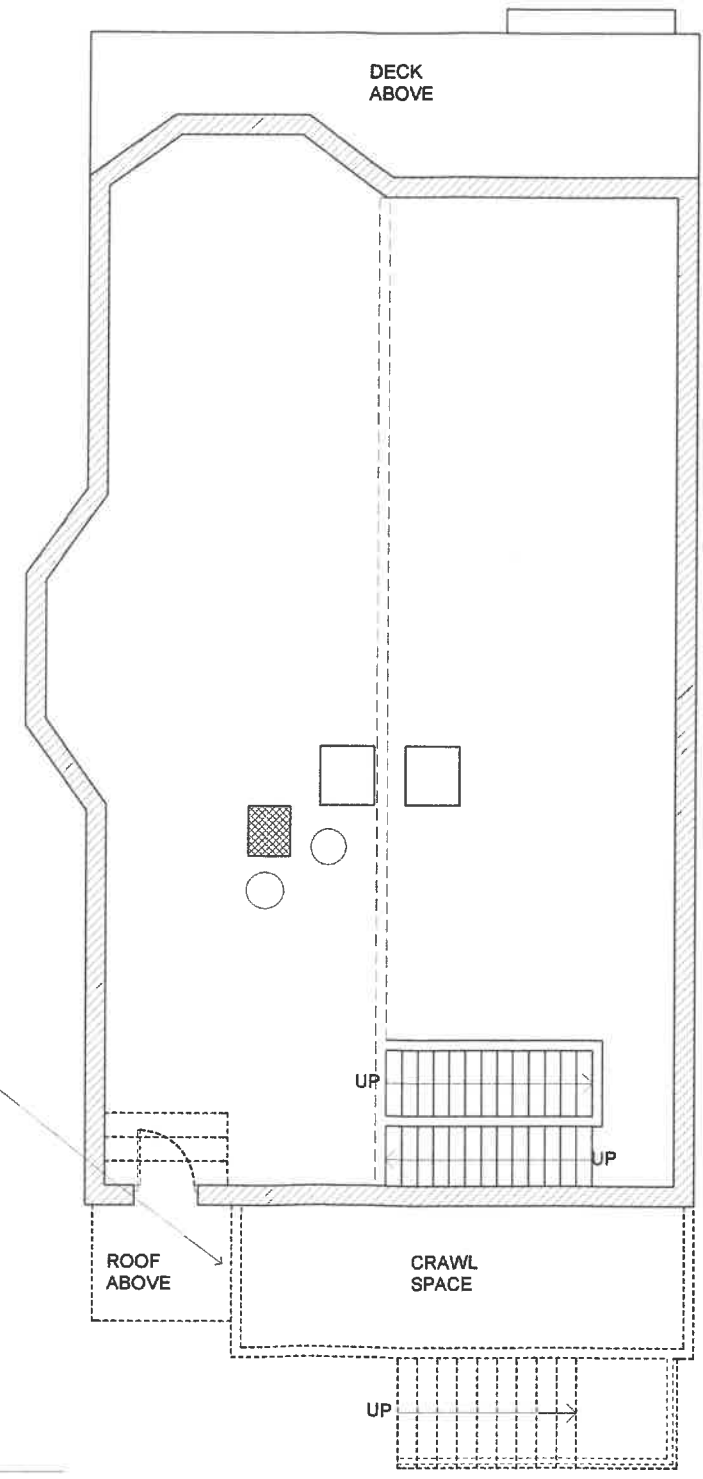


WEINSTEIN RESIDENCE  
17 CONCORD AVE  
BELMONT MA 02478

EXISTING  
CELLAR

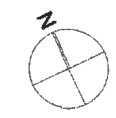
Sheet  
Number:

A2

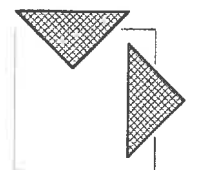


DASHED LINES INDICATE WALLS, WINDOWS, DOORS,  
AND FEATURES TO BE REMOVED - CONTRACTOR  
TO BRACE AND SHORE PRIOR TO REMOVAL OF ANY  
LOAD-BEARING ELEMENTS, TYP

1 PLAN  
SCALE: 1/8" = 1'



MILLER  
DESIGN LLC



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
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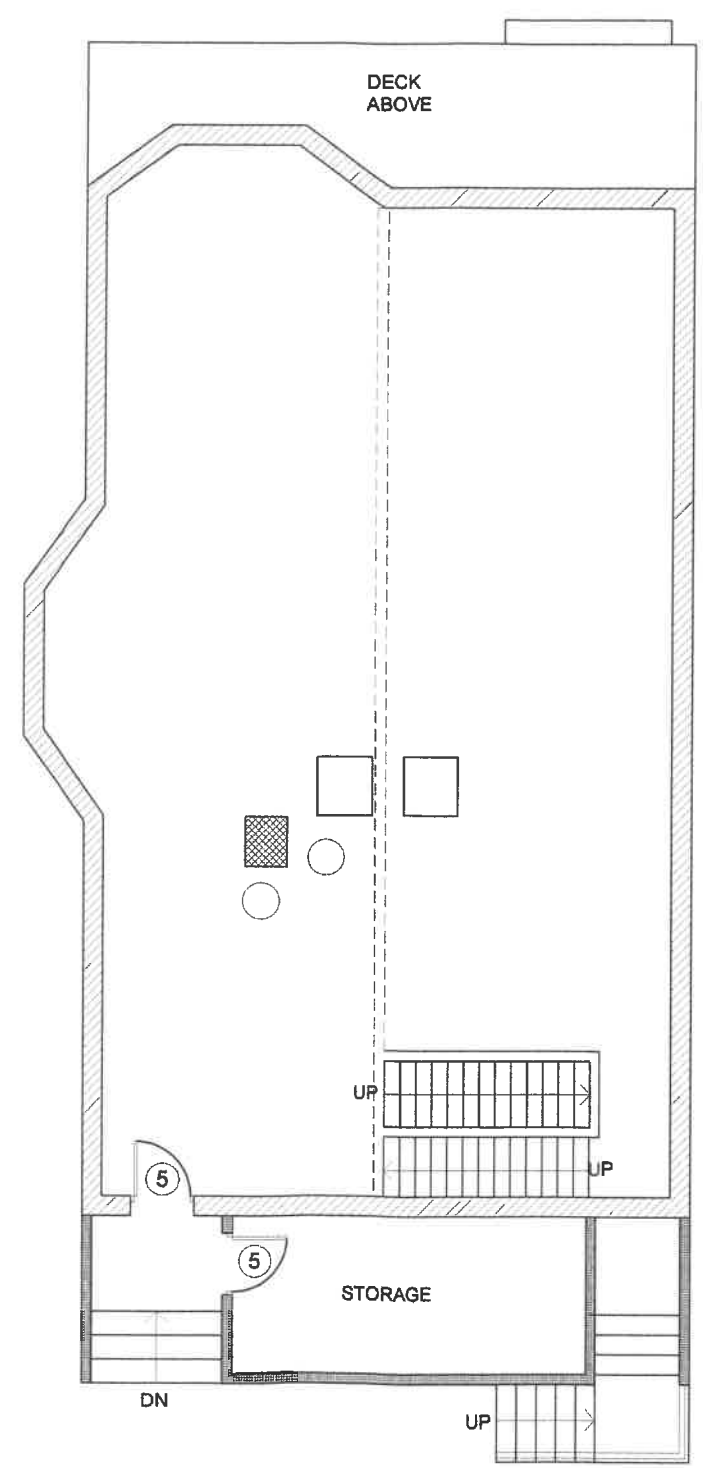


WEINSTEIN RESIDENCE  
17 CONCORD AVE  
BELMONT MA 02478

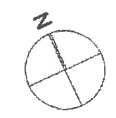
NEW  
CELLAR

Sheet  
Number:

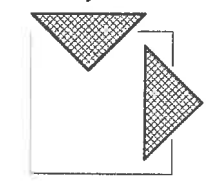
A3



1 PLAN  
SCALE: 1/8" = 1'



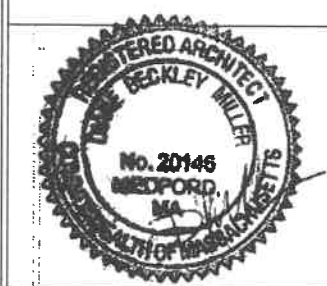
MILLER  
DESIGN LLC



80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: 5/6/22 Issued for: SCHEMATIC DESIGN

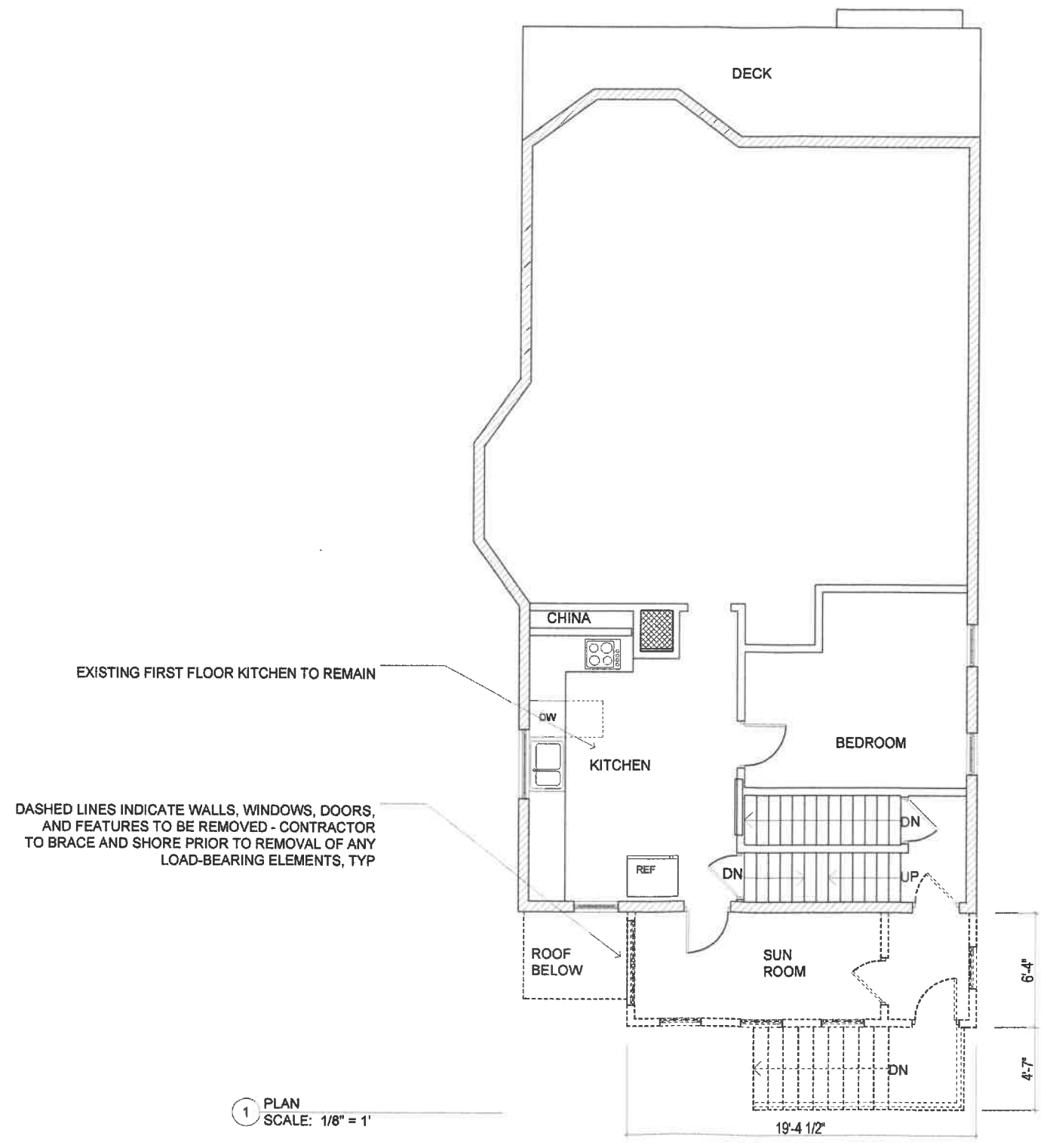


WEINSTEIN RESIDENCE  
17 CONCORD AVE  
BELMONT MA 02478

EXISTING  
FIRST FLOOR

Sheet  
Number:

A4



EXISTING FIRST FLOOR KITCHEN TO REMAIN

DASHED LINES INDICATE WALLS, WINDOWS, DOORS,  
AND FEATURES TO BE REMOVED - CONTRACTOR  
TO BRACE AND SHORE PRIOR TO REMOVAL OF ANY  
LOAD-BEARING ELEMENTS, TYP

1 PLAN  
SCALE: 1/8" = 1'

**HALF STORY AREA CALCULATIONS:**

ALLOWABLE: AREA WITH CEILING HEIGHT OF 5' OR GREATER CAN BE NO MORE THAN 60% OF SECOND FLOOR AREA

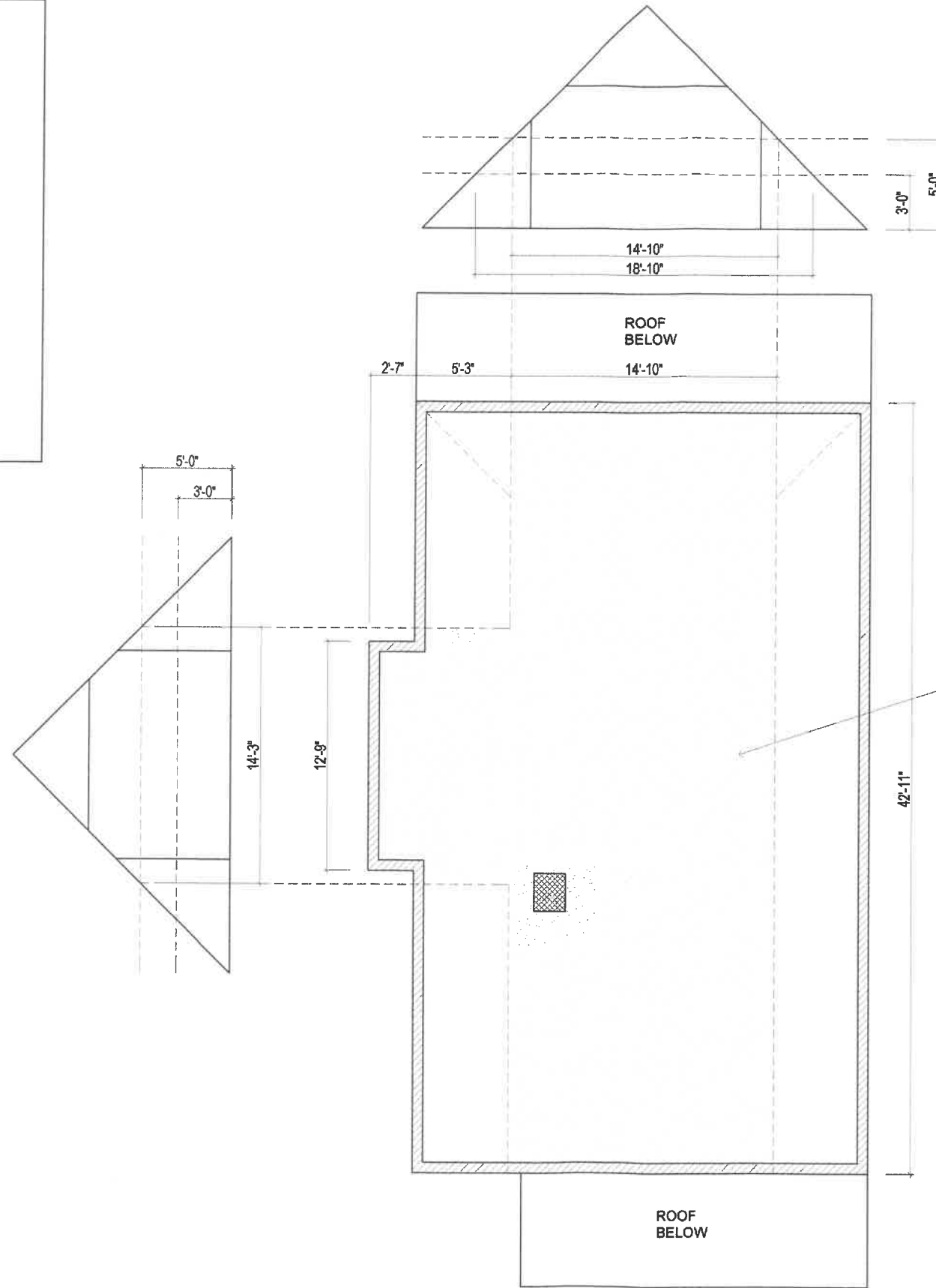
SECOND FLOOR AREA = 1241 SF  
 60% OF 1241 = 744.6 SF MAX  
 ACTUAL: 743 SF, CONFORMING (PROPOSED AREA W/ CEILING HEIGHT OF 5' OR GREATER IS DESIGNATED BY TONE)

**HALF STORY PERIMETER CALCULATIONS:**

SECOND FLOOR PERIMETER = 154'-1" LF

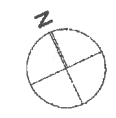
ALLOWABLE: MAX 77'-1/2" W/ RAFTER BOTTOMS AT 3' OR GREATER (BASED ON 50% OF 154'-1" PERIMETER).

ACTUAL: 18'-10" + 18'-10" + 12'-9" = 50'-5", CONFORMING

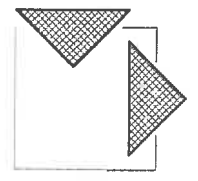


TONE INDICATES GROSS FLOOR AREA WITH CEILING HEIGHT OF 5' OR GREATER FOR HALF STORY CALCULATIONS - SEE THIS SHEET  
 743 sq ft

1 PLAN  
 SCALE: 1/8" = 1'



**MILLER  
 DESIGN LLC**



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 BELMONT, MA 02478

Architect:  
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 617-893-3157

Date:	Issued for:
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WEINSTEIN RESIDENCE  
 17 CONCORD AVE  
 BELMONT MA 02478

EXISTING  
 ATTIC

Sheet  
 Number:

**A8**

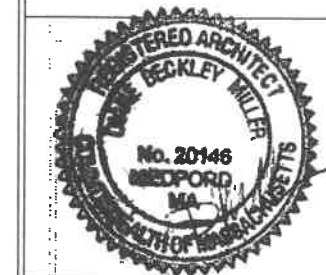
**MILLER  
DESIGN LLC**



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WEINSTEIN RESIDENCE  
17 CONCORD AVE  
BELMONT MA 02478

EXISTING  
ELEVATIONS

Sheet  
Number:

**A9**



1 FRONT ELEVATION  
SCALE: 1/8" = 1'

2 EAST SIDE (DRIVEWAY) ELEVATION  
SCALE: 1/8" = 1'

AVG GRADE -  
SEE PLOT PLAN

8'-9"  
29'-4"  
8'-9"  
8'-7"  
60%



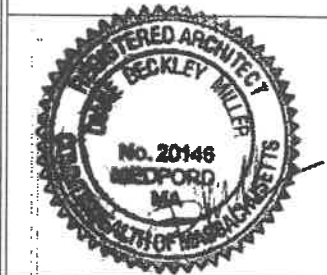
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WEINSTEIN RESIDENCE  
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**NEW  
ELEVATIONS**

Sheet  
Number:

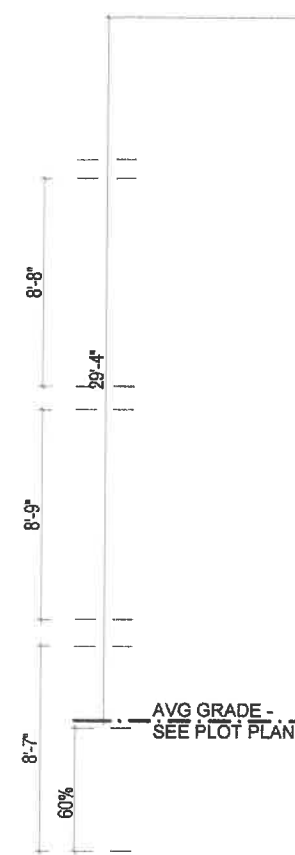
**A10**



1 FRONT ELEVATION  
SCALE: 1/8" = 1'



2 EAST SIDE (DRIVEWAY) ELEVATION  
SCALE: 1/8" = 1'



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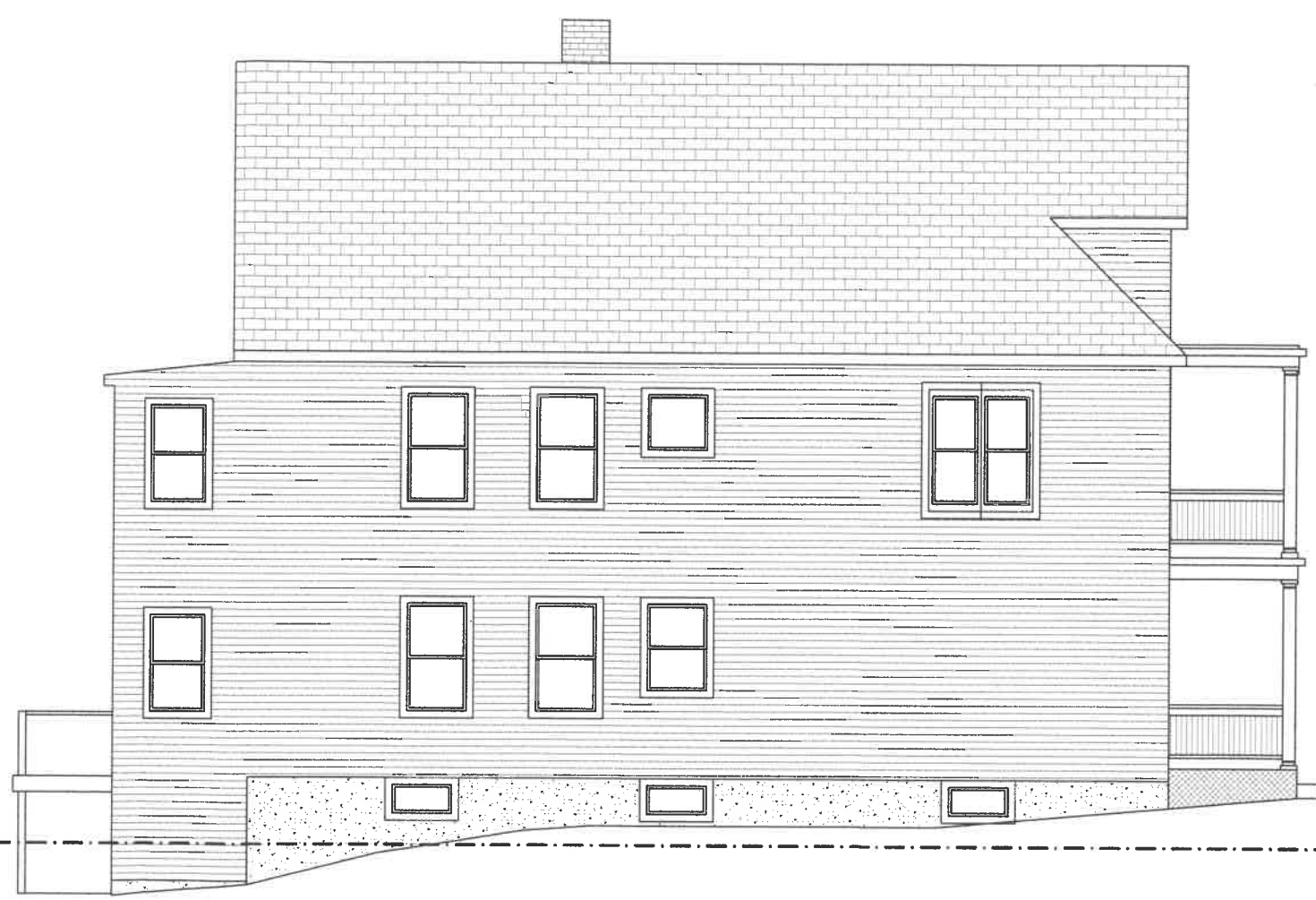
EXISTING  
ELEVATIONS

Sheet  
Number:

**A11**



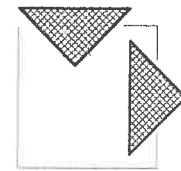
1 REAR ELEVATION  
SCALE: 1/8" = 1'



2 WEST SIDE ELEVATION  
SCALE: 1/8" = 1'

8'-8"  
8'-9"  
8'-7"  
60%  
AVG GRADE -  
SEE PLOT PLAN

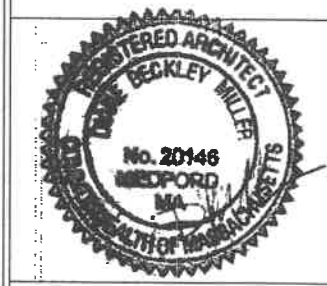
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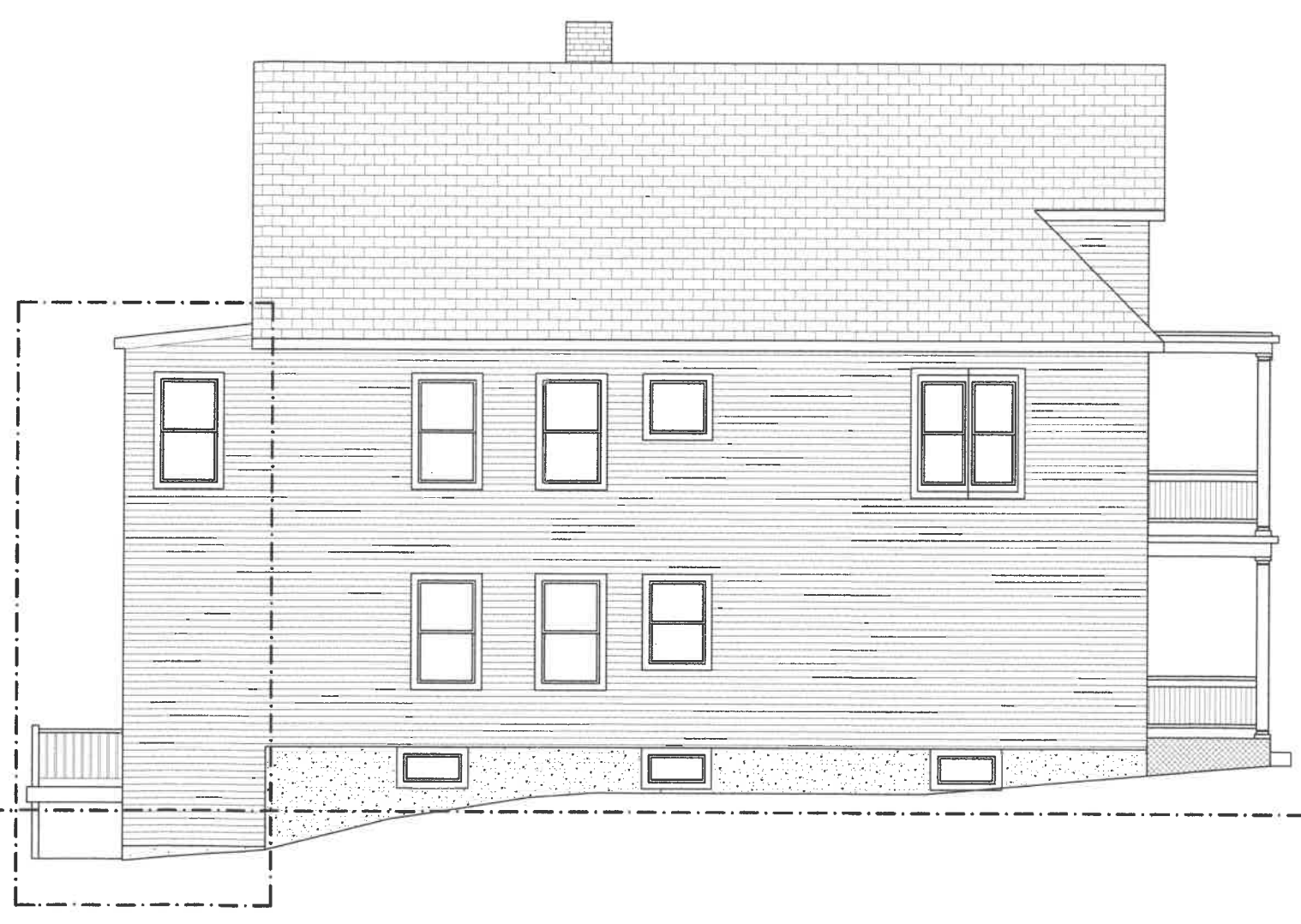
NEW  
ELEVATIONS

Sheet  
Number:

A12



1 REAR ELEVATION  
SCALE: 1/8" = 1'



2 WEST SIDE ELEVATION  
SCALE: 1/8" = 1'